



Information Sheet

Administrative
Department

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Fences, Walls, and Natural Barriers

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Frequently asked questions:

Do I need a permit?

No, but you should contact the Village for more information.

Can I put my fence, wall, or natural barrier anywhere?

No,

- Fences, walls, and natural barriers should not be constructed in any private easement, public street, or street right-of-way.
- Fences, except decorative, cannot be any closer to the street than the building setback line, which varies by Zoning District from 25' to 50'. Decorative fences are those that are used as part of a landscaping feature and do not enclose any area.
- If you have a corner lot you will have a restricted area. This is a **30' triangle** where an obstruction can be no taller than 2'.

Can I put my fence, wall, or natural barrier on my property line?

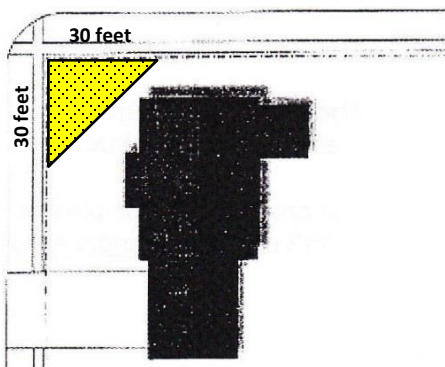
We recommend that you leave a distance equal to at least the width of your mower between your fence and property line for maintenance purposes, but you may install your fence abutting, but not over your property line.

How do I locate my property line?

- You can contact a professionally licensed surveyor to locate your property corners.
- The Village of Shiloh does not survey private property.

Can my fence be of any material?

- No barb wire, other sharp material, or electrically charged fence can be constructed, except in a non-urban district.
- Fences cannot be more than 6' tall.



Is there anything else I should know?

Yes;

- Utilities must be located and considered when erecting fences, walls, or natural barriers. This is the responsibility of the person doing the work. To locate utilities, call JULIE at 811.
- Maintenance (painting, mowing, repairs, etc.) of both sides of the fence, wall, or natural barrier should be considered when determining placement.

- The Village of Shiloh does not settle property line disputes between neighbors.

What is the next step?

- Check with your Homeowner's Association on possible further restrictions.
- Contact the Village Hall to verify the location of easements and building set-back lines. A copy of your final plat is also available from the St. Clair County Recorder's Office.

PLEASE NOTE: These guidelines are not a comprehensive presentation of all the ordinances and building codes involved in placing, erecting, or constructing a fence, wall, or natural barrier.

If you have any questions or concerns please contact the Village Code Enforcement at (618) 632-1022 ext.116 or dmiller@shilohil.org.

Village of Shiloh Code of Ordinances

§ 151.167 FENCES, WALLS AND NATURAL BARRIERS.

Fences, walls or natural barriers used for any purpose shall, in all districts, conform to the following.

(A) For the purpose of minimizing traffic hazards and or natural barriers at street intersections by improving visibility for converging vehicles, obstructions higher than two feet above the adjacent top of the curb or street elevation, whichever is higher, shall not be permitted to remain or to be planted, placed or erected on any corner lot within the triangular portion of land designated as “restricted area” in Figure A-4.

(B) No barbed wire or other such sharp pointed fence below eight feet in height and no electrically-charged fence shall be erected or maintained, except in non-urban districts.

(C) (1) No fence, fill, retaining wall or other structure shall be constructed or erected within any public street, right-of-way or private easement unless authorized by the village. Fences, retaining walls or other structures erected within any public street, right-of-way or easement under village authorization shall be constructed so that drainage shall not be obstructed and the upstream water level is not raised in any storm event from that existing before the proposed work.

(2) In the event of the maintenance, removal and/or replacement of the fence, retaining wall or other structure, the owner of the fence, retaining wall or other structure shall be responsible for the cost of the maintenance, removal and/or replacement and any other costs incurred by the village as a result of the construction.

(D) Fences, walls and natural barriers in any residential district, when permitted, may be located along lot lines; provided, the following regulations are met.

(1) Fences are not permitted in the front yard. For purposes of fence installation only, a **FRONT YARD** is defined as the building set back line on the side of a lot that abuts the street address of the primary structure. (This shall not apply to decorative fences used as part of a landscaping display. Decorative fences shall be defined as those that do not enclose any area and are immediately adjacent to other landscaping features such as plants, trees or flowers.)

(2) Fences located to the rear of the front yard setback area shall not be greater than six feet in height.

(E) (1) No fence, wall or structure shall be constructed or erected within any public street, alley right-of-way, platted or recorded easement and or platted or recorded outlot until a permit has been issued by the village staff.

(2) Permit applications shall be submitted to the village staff for review.

(3) Applications to be accompanied by a sketch and engineer’s calculations verifying compliance with the code.

Cross-reference:

Nuisances generally, see § 90.01

Front setbacks on multiple frontage lots, see § 151.034

Lot requirements, see § 151.222

Easements, see § 151.293